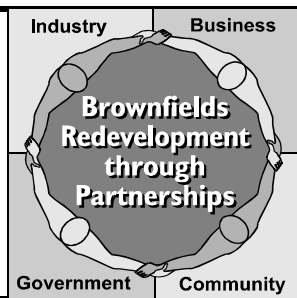


<p style="text-align: center;"><b>Village of Haverstraw, New York</b>  <b>Brownfields Assessment Demonstration Pilot</b></p> <p>U. S. EPA, Region 2  290 Broadway  New York, NY</p> <p style="text-align: right;">June 2002</p>	
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## Program Information

The EPA Brownfields Economic Redevelopment Initiative is designed to empower States, communities, and other stakeholders in economic redevelopment to work together in a timely manner to prevent, assess, safely clean up, and sustainably reuse brownfields. A brownfield is an abandoned, idled, or under-used industrial or commercial facility where expansion or redevelopment is complicated by real or perceived contamination. Since 1995, EPA has funded more than 300 Brownfields Assessment Demonstration Pilots, at up to \$200,000 each, enabling localities to clarify environmental contamination issues in order to facilitate redevelopment. Pilot funds are for site assessment, reuse planning and related community involvement. EPA Region 2 provides direct support to the States, Tribes, counties, municipalities, and communities of New York, New Jersey, Puerto Rico, and the US Virgin Islands as they continue to seek new methods to promote site assessment, environmental cleanup, and redevelopment.

## I. Overview

In April 2001, the U.S. Environmental Protection Agency (EPA) awarded the Village of Haverstraw, New York (population 9,438) a Brownfields Assessment Demonstration Pilot grant. Haverstraw is a small, historic village located on the western bank of the Hudson River, in southern New York State. During the 19<sup>th</sup> and early 20<sup>th</sup> centuries, Haverstraw was known as “the brick-making capital of the world,” with as many as 38 brickyards operating along the riverfront. However, with the onset of the Great Depression, demand for bricks plummeted and by the end of World War II, all of Haverstraw’s brickyards had closed. Although the waterfront has been used intermittently for various industrial purposes, including a chair making factory, fuel and oil storage, and the Villages’ Department of Public Works maintenance facility, the years of neglect and decay have taken their toll on the area. Today, the demographics of Haverstraw differ markedly from the rest of Rockland County, and the economy lags behind that of nearby communities. Nearly 19 percent of the Village population lives at or below the poverty line, and the per capita income is \$11,016.

In August 2000, Haverstraw’s waterfront became home to a cross-river ferry service which provides access to midtown Manhattan via the Metro-North Railroad in Ossining. Aside from this ferry service, however, the riverfront remains blighted, consisting primarily of deserted, fenced-in fields, the remains of a concrete foundation and a burned-out factory building. Further, because Haverstraw is an extremely small community, the downtown and riverfront area is the only area within the Village where development can take place. One of the goals of the Pilot is the creation of a new Esplanade park along the Hudson River. As part of the Pilot program, EPA has awarded the Village an additional \$50,000 greenspace grant.

## **II. Brownfields Pilot Progress**

### **Implementation Strategy**

The Village's goal is to return its brownfields to productive use, create jobs, increase the tax base, and allow public access to and increase enjoyment of the waterfront. In the first phase of the project, the Pilot will perform a Phase II site assessment on 28 acres of the project area to identify probable contamination and estimate cleanup costs. The remaining 25 acres will be assessed in a second phase. In the event that clean-up costs for a site are too high to attract private funds, the Village intends to clean the site itself using the municipal clean-up provisions of New York State's Environmental Bond Act.

The Village will also create a reuse plan, which will be developed by members of the community, business and government, who will work together to identify potential uses for the area that will create jobs and economic growth and maximize public access to the riverfront. The plan will also identify potential incentives to encourage private developers to conduct further assessment and clean-up activities. A market research firm is currently conducting a market feasibility study for the waterfront and downtown area, which will explore several possible reuse strategies including recreation, transportation facilities, residential use, office space, retail and light industrial. The results of this study, along with the site assessments, will be used by the Village's Brownfields Committee to determine an end-use plan for each of the brownfield sites.

Ownership of a strip of land along the Hudson River would be retained by the Village for the creation an Esplanade Park. The Village envisions the development of a two-mile long riverfront park, which will connect to trailways in Stoney Point State Park to the north, and Hook Mountain State Park to the South. The completion of this park will extend the line of continuous public access along the west shore of the River.

The Village of Haverstraw will administer the pilot program, and the Haverstraw Department of Public Works will oversee the public park component of the project. The Village has selected the Ginsburg Development Corporation (GDC) as the preliminary developer to assist in the development of clean-up and reuse plans of those portions of the brownfield sites which will not be incorporated into the Esplanade Park.

### **Community Involvement**

The Village of Haverstraw has worked with community groups in the development of its Urban Renewal Plan and the Pilot application. Groups involved in the program include the Haverstraw Ecumenical Project and Day Care Center, Clergy of Haverstraw, Scenic Hudson, Hudson River Valley Greenway Council & Conservancy, the Arts Alliance of Haverstraw, the Haverstraw Brick Museum, the Haverstraw Chamber of Commerce, and the North Rockland Rotary. Prior to receiving the Pilot grant, the Village held two workshops for community members on improving public access to the waterfront, downtown revitalization, economic transition and the State Environmental Quality Review (SEQR) process. A public scoping session discussing the Village Urban Renewal Plan was also held.

The Village also intends to solicit direct input from members of the community through a series of public meetings as the development of the reuse plan progresses. Since 34 percent of the population does not speak English very well, and approximately one-half of the community speaks Spanish, all public information materials and meeting notices will be provided in both

English and Spanish. The Pilot's Brownfields Coordinator will initiate the Villages' Brownfields Community Involvement Plan, and will be responsible for providing bilingual information throughout the redevelopment process.

### **III. Brownfields Site Activities**

#### **Site Inventory**

The Village of Haverstraw is in the process of completing an inventory of all brownfields within the Village.

#### **Site Selection**

The Village of Haverstraw has identified 55 acres of under-utilized property along the riverfront. This area, spread out among three separate parcels of land which had been used as brickyards in the 19<sup>th</sup> and 20<sup>th</sup> centuries, will be the focus of the Pilot. These three brownfields sites envelop an Elks Lodge, the Haverstraw Marina, a successful waterfront restaurant, and a popular public park. The Village intends to redevelop the three parcels, while setting aside the entire edge of the waterfront for a two-mile long esplanade park.

The riverfront sites were selected for assessment and redevelopment because their redevelopment is key to revitalizing the entire downtown area, given the lack of any other land available for development within the village. The clean-up and redevelopment of these properties will return a significant portion of currently fallow land to productive use, while also increasing public access to the Hudson River.

#### **Site Assessment and Reuse Planning**

A two-mile long riverfront park is planned for a portion of the project area. The Village has not yet proposed specific reuse of the remainder of the project area. As part of the Pilot, a Phase II site assessment will be conducted on 28 acres of the project area.

### **IV. Measures of Success**

#### **Properties Estimated in Brownfields Pilot Area: NR**

For the entire Pilot area, the number of properties/parcels which have been identified by the Pilot as brownfields. The Pilot area includes the entire jurisdiction of the Pilot (e.g., the entire City of Chicago or the State of Minnesota), not just the specific area(s) that the Pilot has defined as target areas.

#### **Properties Reported to be Contained in Pilot Inventories: 3**

For the entire Pilot area, the number of properties/parcels which have been included in an inventory of brownfields properties/parcels. Types of brownfields inventories include: lists, spreadsheets, and databases (geographic information systems or other forms). These inventories may include lists such as a foreclosure list of abandoned industrial sites, a state list of no-further actions sites, etc.

#### **Properties Reported to be Targeted by Pilot: 3**

For the entire Pilot area, the number of brownfields properties/parcels the Pilot reports it is "targeting", or at which the Pilot says it will conduct, is conducting, or has conducted activities such as assessment, cleanup planning, facilitation of redevelopment, community outreach, etc.

## V. Non-Site Specific Funding Leveraged

Funding that has been leveraged under the pilot program, but cannot be attributed to any one site.

### A. Non-Site Specific Funding Leveraged for Assessment

Funded by: ☐ Local (City) ☐ Local (County) ☒ Private ☐ State ☐ Other Federal

Amount Funded: \$ 200,000

Additional information concerning funding: Funding from Ginsburg Development Corporation, acquired before the pilot program, for studies and options to purchase the parcels

### B. Non-Site Specific Funding Leveraged for Cleanup

Funded by: ☐ Local (City) ☐ Local (County) ☐ Private ☐ State ☐ Other Federal

Amount Funded: \$ \_\_\_\_\_

Additional information concerning funding:

### C. Non-Site Specific Funding Leveraged for Redevelopment

Funded by: ☐ Local (City) ☐ Local (County) ☐ Private ☐ State ☒ Other Federal

Amount Funded: \$ 500,000

Additional information concerning funding: \$500,000 EDI grant from the U.S. Department of Housing and Urban Development for building a demonstration section of the Hudson River esplanade park. Funding was acquired before the pilot program.

## VI. Current Activities

The Village is preparing its Community Involvement Plan and conducting community outreach.

## **VII. Contact Information**

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For more information on EPA's Brownfields Initiative visit EPA's website at:

National Website <http://www.epa.gov/swerosps/bf>  
Regional Website <http://www.epa.gov/r02earth/superfnd/brownfld/bfmainpg.htm>